

**Airport:** Any area of land, water, or mechanical structure which is used for the landing and takeoff of aircraft and includes any appurtenant structures and areas which are used or intended to be used for airport buildings, other airport facilities, rights-of-way, or easements, but not to include heliports.

**Alteration:** Any change in the supporting members of a building or structure such as bearing walls columns, and girders, except such emergency change as may be required for safety purposes; any addition to a building; any change in use; or, any movement of a building from one location to another.

**Alley:** A strip of land dedicated to public use providing vehicular and pedestrian access to the rear of properties which abut and are served by a public road or street.

**Alternative tower structure:** Clock towers, bell towers, steeples attached to places of worship, water towers, light/power poles, electric transmission towers, man-made trees (without accessory buildings/structures), and similar natural or man-made alternative-design mounting structures that camouflage or conceal the presence of antennas or towers.

**Apartment House:** A structure containing three or more dwelling units.

**Aquifer:** Any stratum or zone of rock beneath the surface of the earth capable of containing or producing water from a well.

**Assisted Living Facility:** A residential facility that provides assistance with non-medical aspects of daily activities in an atmosphere of separate, private living for seniors. Twenty-four hour supervision is provided and is designed for seniors who need some level of support for daily living. Personal care services include, but are not limited to, meals, housekeeping, transportation, laundry, grooming, medication management and other functions of daily living. These facilities may be freestanding or part of a CCRC.

**Auction:** A public sale of property to the highest bidder; or a facility dedicated to a public sale of property to the highest bidder.

**Automobile Services Establishment, Major:** An establishment providing major repair or body work services, including, but not limited to, collision repair, other body work, painting services, tire recapping; any services that would otherwise be considered minor automobile services, but are not performed in fully enclosed service bay(s) with operable door(s). Towing services shall constitute a permissible accessory use to this type of establishment provided no open storage yard or impound storage occurs on the property.

**Automobile Services Establishment, Minor:** An indoor establishment with fully enclosed service bay(s) with operable door(s) for performing indoor vehicle repair and maintenance, including but not limited to brakes, oil changes, lubrication, transmission, engine, belts, hoses, inspections, and tire mounting and installation. Any establishment performing such services other than in fully enclosed service bay(s) with operable door(s) shall be deemed a major automobile services establishment. Towing services shall constitute a permissible accessory use to this type of establishment provided no open storage yard or impound storage occurs on the property.

**Balcony:** [A platform projecting from the wall of an upper-story building with railing along its outer edge, with access from a door or window.](#)

**Bed and Breakfast Inn:** A private owner occupied residence with one (1) to three (3) guestrooms offering temporary lodging and one (1) or more meals to the traveling public while away from their normal places of residence. The bed and breakfast is subordinate and incidental to the main residential use of the building. Individual guests are prohibited from staying overnight at a particular bed and breakfast establishment for more than ten (10) days in any one (1) year period.

**Bedroom:** A room intended for, or capable of, being used for sleeping and is at least seventy square feet in area. A room designated on building plan submittals as a “den,” “study,” “loft,” “bonus room,” or other extra room satisfying the criteria in this definition and is not a kitchen, living room, or bath, and which may contain closets or access to a bathroom, may be considered a bedroom for purposes of computing bedroom area and building code compliance.

**Block:** An area of land within a subdivision that is entirely surrounded by public streets, public lands, railroad rights-of-way, watercourses, or other well defined and fixed boundaries.

**Block Corner:** The corner of any subdivision block where two streets intersect.

**Board:** Board of Commissioners

**Boarding House:** A dwelling unit or part thereof in which, for compensation, lodging and meals are provided; personal and financial services may be offered as well. However, a Dwelling Unit that is rented for periods of less than thirty (30) days shall not convert the use to a Boarding House use if the owner or custodian of same has applied for and obtained a Short-term Rental Conditional Use Permit pursuant to the provisions of this Code.

**Brewery:** A premises where beer and malt beverage are manufactured.

**Pollution Susceptibility Maps:** Maps prepared by the Department of Natural Resources showing relative vulnerability of aquifers to pollution. Pollution susceptibility maps categorize the land areas of the State into areas having high, medium and low groundwater pollution potential.

**Porch:** A structure attached to a building, which may either be at grade or raised, forming a covered pedestrian entrance to a building.

**Principal Building:** A building in which is conducted the main or principal use of the lot on which said building is situated.

**Private On-Site Sewage Disposal System:** A system for collection and disposal of sewage, with each and every component located and functioning completely within the boundaries of a single lot and serving exclusively the permitted improvements on said lot, and receiving no sewage, waste or substance from any other source. Includes traditional Septic Tank Systems as well as improvements and technological advances thereupon, provided the system is acceptable to and approved by the Georgia Department of Human Resources and the Forsyth County Health Department.

**Processing:** (See definition of Manufacturing, Processing, and Assembling).

**Professional Architect:** An architect duly registered or otherwise authorized by the State of Georgia to practice in the field of architecture.

**Professional Engineer:** An engineer duly registered or otherwise authorized by the State of Georgia to practice in the field of civil engineering.

**Professional Surveyor:** A surveyor duly registered or otherwise authorized by the State of Georgia to practice in the field of land surveying.

**Protected River:** Any perennial river or watercourse with an average annual flow of at least 400 cubic feet per second as determined by appropriate United States Geological Survey documents. However, those segments of rivers covered by the Metropolitan River Protection Act are specifically excluded from the definition of a protected river.

**Protective Covenants:** Contracts made between private parties as to the manner in which land may be used, with the view toward protecting and preserving the physical and economic integrity of any given area.

**Public use:** Any building, structure, or use owned and/or operated by the federal government, state of Georgia, Forsyth County or other County, the city of Cumming or other municipality, or any authority, agency, board, or commission of the above governments, that is necessary to serve a public purpose, such as but not limited to the following: government administrative buildings, post offices, police and fire stations, libraries and publicly operated museums, public health facilities and public hospitals, public works camps, parks and community centers, public roads and streets, airports, water and sanitary sewerage intake, collection, pumping, treatment, and storage facilities, emergency medical facilities, and jails and correctional facilities.

**Public Sewer:** Includes and is limited to: (a) any sewer collection, disposal or treatment system owned by Forsyth County and operated by Forsyth County, its contractors, agents, or licensees; and (b) any sewer collection, disposal or treatment system owned by a municipality or other political subdivision of the State of Georgia and approved by the Director of Water and Sewer as a public sewer for the purposes of this Code. Public Sewer shall specifically include any sewer collection, disposal or treatment system built by a non-governmental entity via an approved variance meeting the design and performance standards of Forsyth County and titled, owned and operated by Forsyth County or its designee.

**Public Utility or Utilities:** A service or services provided by a public utility company, or, as approved by the Board, a private entity which provides such service or services, and all equipment and structures necessary to provide such services.

**Quadrangle Map:** The most recently published United States Geological Survey 7.5 minute topographic map, prepared at a scale of 1:24,000.

**Quadrplex:** Four single family dwelling units in one structure utilizing common walls on two sides and a side and rear or front yard on the other two sides. Quadrplexes can be located on a single lot with or without other quadrplexes (i.e., an apartment complex with four-unit buildings, or each unit may be located on its own lot (i.e., fee simple ownership with "zero lot line" on two sides). Also known and referred to as "fourplex."

**Reasonable Cause:** Such a state of facts, based on reliable evidence or information, as would lead a person of ordinary care and prudence to believe and have an honest, strong, articulable suspicion that premises to be inspected are in violation of County ordinances, including this Code, or there exists circumstances posing a detrimental risk to the health, safety, and welfare of Forsyth County citizens.

**Recharge Areas:** Any portion of the earth's surface, where water infiltrates into the ground to replenish an aquifer.

the crests, summits, and ridge tops which lie at elevations higher than those of adjacent steep mountain slopes (even though the crests, summits, and ridge tops may have a slope of less than 25 percent), provided that such crests, summits, and ridge tops are in a natural condition as defined by this Code.

**Steep Slopes:** Lands with slopes of at least 35 percent, as indicated in the Comprehensive Plan of Forsyth County, or which are so indicated with aid of a United States Geological Survey 1:24,000, 7.5 minute quadrangle topographic map or other available topographic information.

**Stoop:** A raised platform, which may be covered but not enclosed, that serves as a pedestrian entrance to a building.

**Street:** Any vehicular way, other than an alley, that: (1) is an existing state, County or municipal roadway; (2) is constructed as shown upon a plat approved pursuant to law and is open to vehicle travel; (3) is constructed and open to vehicle travel as approved by other official action of the Board of Commissioners; or (4) is constructed and open to vehicle travel and shown on a plat duly filed and recorded in the Clerk's Office, Forsyth County Superior Court prior to the appointment of the Planning Commission and the grant to the Planning Commission of the power to review plats. Land between the street lines, whether improved or unimproved, shall be considered part of the street.

**Street, Collector:** Unless otherwise defined by the Major Transportation Plan or Comprehensive Plan, a collector street is a public street whose function is to collect traffic from neighborhoods and local streets and which connects to another public street of equal or greater classification. A collector also may provide direct access to adjacent properties.

**Street, Local:** Unless otherwise defined in the Forsyth County Major Transportation Plan or Comprehensive Plan, any public street, except an alley, collector, or arterial, and which has a primary function to provide direct access to adjoining properties and which serves a limited area only, usually a single land subdivision.

**Street, Major Arterial:** Unless otherwise defined by the Forsyth County Major Transportation Plan or Comprehensive Plan, a major arterial street is a street connecting two or more towns or communities, connecting two highways of equal or greater capacity, or serving as the primary access to a large land area. A major arterial may also serve a large traffic generator (e.g., an industrial area) and perform a secondary function of providing local access.

**Street, Marginal Access:** A residential street parallel and adjacent to a major thoroughfare and which provides access to abutting properties with protection from through traffic.

**Street, Private:** A road or street that has not been accepted for maintenance by the County and that is not owned and maintained by the state, City of Cumming, another County, or another public entity.

**Stripping:** Any activity which removes or significantly alters the vegetation surface cover, including clearing and grubbing operations.

**Structural Lot Fills:** Fills constructed predominately of rock materials for the purpose of supporting structures.

**Structural Stormwater Control:** A structural stormwater management facility or device that controls stormwater runoff and changes the characteristics of that runoff including, but not limited to, the quantity and quality, the period of release, or the velocity of flow of such runoff.

**Structure:** Materials that, when combined, form a construction for use, occupancy, or ornamentation. A structure may be installed on, above, or below the surface of land or water. For purposes of this Code, all buildings (including overhangs) are considered structures, but not all structures are considered buildings. Specifically exempted from the definition of structure are the following: driveways; mail boxes; flag poles; walls, unless they are an integral part of a structure not exempted herein; light poles/fixtures; patios, at grade; pool decking, at grade; sidewalks; swing sets; and any construction not requiring a building permit by Forsyth County.

**Subdivider:** Any person, as defined by this Code, who undertakes the subdivision of land, and any person having such a proprietary interest in land to be subdivided as will authorize the maintenance of proceedings to subdivide such land under this Code, or the authorized agent of such person.

**Subdivision:** A division of a tract or parcel of land into two (2) or more lots, building sites, or other divisions for the purpose of sale or building development, whether immediate or future, including all division of land involving the dedication of a new street or a change in existing streets. The word "subdivision" includes re-subdivision and, when appropriate to the context, relates either to the process of subdividing or to the actual land or area which is subdivided.

**Subdivision, Minor:** A subdivision of six (6) or fewer lots which does not involve the construction of a new public or private street. Because minor subdivisions do not involve the construction of a new public or private street, they are processed administratively by the Department of Planning and Community Development as final plat applications that do not require sketch plat approval. Any improvements to an existing public street abutting the tract proposed for minor subdivision, or the installation of utilities along said existing public road, as may be required to

surface of the exterior wall or from the front face of a porch. For the sake of this requirement, a porch must be:

- (1) At least six (6) feet deep. [The depth of a porch shall be measured from the outer most edge of the walking surface to the lowest projecting face of the wall cladding.](#)
  - (2) At least thirty-three percent (33%) of the width of the exterior wall from which it projects.
  - (3) Covered and continuous.
- (M) **Variation in facades.** No more than three (3) adjacent houses located on the same side of the street may have identical façade designs. Differentiation between adjacent houses may be accomplished by at least four (4) of the following:
- (1) Different exterior wall materials (color alone is not sufficient);
  - (2) Different window placement, including a change of at least twenty-four (24) inches or a different window type;
  - (3) Different building heights, including a variation of at least twenty-four (24) inches between adjacent buildings; and
  - (4) Different roof forms, including but not limited to slope, gables, hips, or dormers; and
  - (5) Different garage configuration, including garage doors facing a different direction or a variation in the setback of the garage door from the main building or porch as defined in section 11-9.5(L) of at least twenty-four (24) inches as well as a different garage door type.
- (N) **Landscape.** A minimum of ten percent (10%) of the uncovered area of the lot must be planted in trees, shrubs, or perennial ground cover other than turf grass.
- (O) **Tree planting.** Trees in the front yard must be planted five (5) feet measured in a straight line from the center of the trunk to the edge of the right-of-way. In Res2 and Res3 zoning districts provide at least one two (2) inch caliper minimum overstory tree for each lot in addition to the requirements of the Forsyth County Ordinance 98 (Tree Protection and Replacement Ordinance).
- (1) In order to provide adequate growing area and soil volume for planted trees, the following minimum criteria must be observed unless otherwise approved by the County Arborist to improve the viability of the planted trees:
    - (a) Minimum open soil surface area with average soil depths greater than or equal to three (3) feet:  
Overstory Trees: 400 square feet.  
Understory Trees: 100 square feet.
    - (b) Minimum setbacks from exterior of trunk to buildings:  
Overstory Trees: 20 feet  
Understory Trees: 10 feet
    - (c) Minimum setbacks from exterior of trunk to sidewalks, driveways, and other impervious surfaces:  
Overstory Trees: 8 feet  
Understory Trees: 4 feet
  - (2) In some situations, certain conditions or constraints, such as but not limited to existing or proposed utilities, infrastructure, streams, wetlands or other environmental factors, may limit the ability of a site to support the minimum number of required trees. The County Arborist may approve and/or require alternative planting locations or other means of compliance for fulfilling the planting requirement for any tree required by the Tree Ordinance, UDC, or other development regulations. Such decisions shall be based on established principles and practices of arboriculture and with consideration to maximizing the tree's health and contribution to the landscape and environment in order to fulfill the purpose and intent of this Article.

11-9.6 **Subdivision standards.** Where required by the applicability requirements of section 11-9.2, the following subdivision-based standards apply.

- (A) **Retaining Walls.** Retaining walls must be faced with natural stone, brick, or minimum four (4) inch thick manufactured stone; modular block is allowed. The underlying substrate may not be visible through the facing material. Retaining walls located on individual lots are not subject to this requirement.
- (B) **Gabion Walls.** Retaining walls constructed of metal cages filled with rock or similar material are prohibited where visible from any adjacent or nearby lot, or any public or private street. In addition, gabion walls are restricted to the location of designated common areas and stormwater facilities. Maintenance of the gabion wall structure and any associated vegetation shall be the responsibility of the homeowner association.

- (b) **Gabion Walls.** Retaining walls constructed of metal cages filled with rock or similar material are prohibited.
- (c) **Street Layout.** Straight street segments are limited to no more than six hundred (600) feet in length without an intervening intersection or a horizontal curve with a centerline radius of no more than ninety (90) feet.
- (d) **Exterior Buffer.** Lots along the exterior property line of a development that do not abut a right-of-way or public space must provide a thirty (30) foot buffer.

## **ARTICLE X. DESIGN STANDARDS FOR SINGLE-FAMILY ATTACHED AND MULTI-FAMILY RESIDENTIAL**

**11-10.1 Purpose and Intent.** The residential design regulations in this article are intended to increase the overall durability, construction quality and attractiveness of single-family attached and multi-family residential developments. The objectives are to address community character, enhance attractiveness of the built environment and contribute to quality of life for residents. The design guidelines are functional in both maintaining comfortable living standards and shaping the development pattern within the larger community. These guidelines shall ensure that single-family attached and multi-family residential developments are architecturally diverse, but also strengthen a cohesive neighborhood identity to complement the setting and character of residential neighborhoods.

### **11-10.2 Applicability.**

- (A) This article shall not apply to the remodel of or addition to an existing structure to the extent the existing structure does not comply with the provisions of this article.
- (B) If a structure for which this article would otherwise apply is damaged, the structure may be rebuilt without needing to comply with those provisions of this article with which the prior structure did not comply at the time of destruction.
- (C) Residential development for which units have not been permitted must comply with sections 11-10.3 and 11-10.4. This requirement shall be waived for the final phase of a multi-phase development, which was approved under a single zoning application with a single multi-phase site plan, that is in need of a land disturbance permit in order to complete its final phase provided that no less than ninety (90%) percent of the total approved residential structures in the other phases have been issued certificates of occupancy.

### **11-10.3 Application Requirements.**

- (A) Submission of the materials otherwise required in this section may be waived if neither the zoning district performance standards nor the scope of the application request would be affected by the materials.
- (B) Where required by the applicability requirements of section 11-10.2, and not otherwise waived, the following materials must be submitted with a building permit application.
  - (1) Elevation drawings of all building types; renderings may also be submitted in addition to required elevations.
  - (2) Details, finish material imagery, and descriptions for fencing and retaining walls.
  - (3) Visual examples including photographs and narrative description of exterior materials for buildings. Physical samples shall be submitted if requested to clarify material type.
- (C) At the time of final plat for new, major subdivisions or building permitting for platted lots and new, minor subdivisions, the following shall be submitted:
  - (1) Details pertaining to windows, garage doors, porches, stoops, balconies, decks, exterior walls, gutters and roof detailing.
  - (2) Details pertaining to walkways, landscaping and exterior lighting.
  - (3) Details pertaining to design and finish materials for fencing and retaining walls.
  - (4) Sidewalks, planting strips and trails must be shown on the site plan.
- (D) In the event a final plat is not required, the following shall be submitted at the time of the building plan submittal:
  - (1) Details pertaining to windows, garage doors, porches, stoops, balconies, decks, exterior walls, gutters and roof detailing.
  - (2) Details pertaining to walkways, landscaping and exterior lighting.
  - (3) Details pertaining to design and finish materials for fencing and retaining walls.
  - (4) Sidewalks, planting strips and trails must be shown on the site plan.

### **11-10.4 Architectural Standards.**

- (A) **Single-Family Attached Residential**
  - (1) **Wall Finishes.**

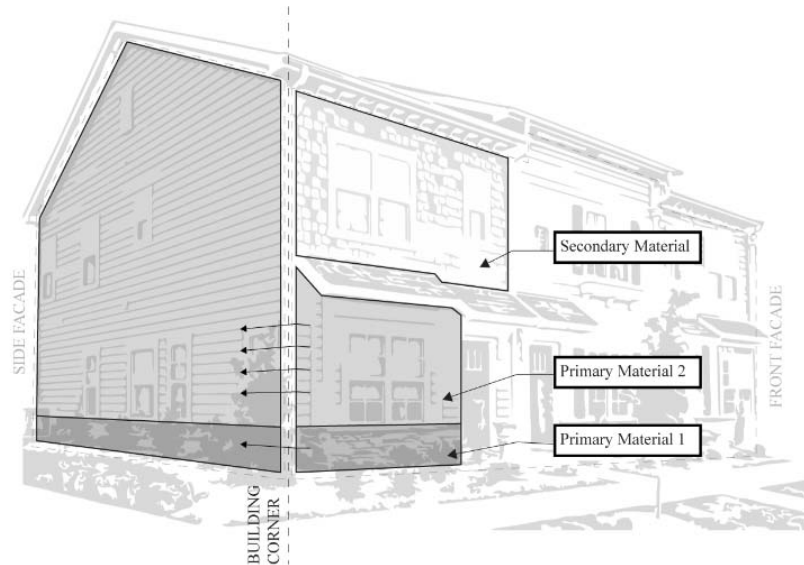
- (a) A minimum of sixty (60%) percent of the total façade of all exterior walls, excluding windows and doors, must consist of primary wall cladding materials as listed below.
  - (i) Brick or masonry brick veneer;
  - (ii) Manufactured or natural stone or stone veneer;
  - (iii) True three (3) coat cement stucco;
  - (iv) Cementitious siding including lap siding and board and batten.
- (b) A maximum of forty (40%) percent of the total façade of all exterior walls, excluding windows and doors, may consist of secondary wall cladding materials as listed below.
  - (i) Natural wood siding;
  - (ii) Cementitious shakes and shingles;
  - (iii) Exterior Insulation and Finish System (EIFS). If within three (3) feet of grade or within six (6) feet of grade adjoining a public right-of-way or a parking area, shall be compliant with impact resistance standards set by ASTM.
- (c) The use of the following materials is prohibited for the exterior of buildings:
  - (i) Architectural concrete masonry units (CMUs);
  - (ii) Plywood and oriented strand board (OSB);
  - (iii) Standing seam or corrugated metal panels;
  - (iv) Vinyl siding and other polymeric siding;
  - (v) Mirrored glass;
  - (vi) Corrugated fiberglass;
  - (vii) Any spray-on materials, such as shot-crete.
- (d) On the arrangement of façade materials
  - (i) Where two (2) or more materials are proposed to be combined on a façade, the heavier material shall be located below the lighter material as shown in Illustration 11.3. Material changes on a façade shall occur along a continuous horizontal line or where two (2) building forms meet.

**Illustration 11. 3: Material arrangement**



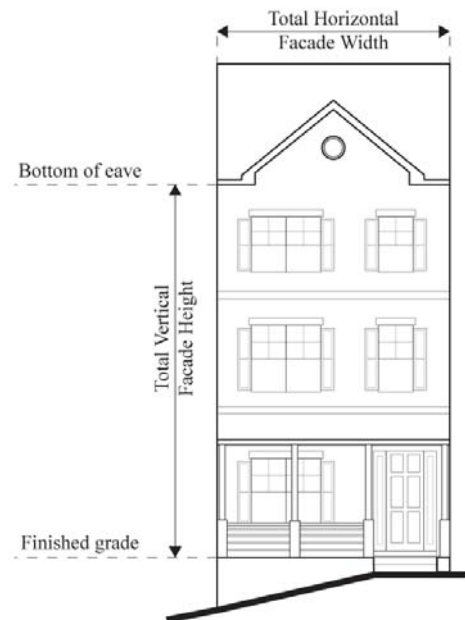
- (ii) Façade materials are permitted to change only when it reaches an interior corner or another architectural feature. Primary front façade materials shall wrap around at outside building corners for at least four (4) feet at a continuous height. See Illustration 11.4.

**Illustration 11. 4: Building Corners**



- (e) Accessory Materials
  - (i) The exterior of accessory buildings shall be constructed of similar materials, colors, and detailing to match those used on the principal structure(s).
  - (f) In cases where a material is proposed but is not listed, the director shall make an administrative determination as to whether or not the material shall be permitted under present design standards based on the purpose and intent of this Article.
- (2) **Variation in Facades.** For the purpose of this subsection, a building façade shall be considered the entire wall surface on a building side from the finished grade level to the bottom of an overhanging eave or to the top of a cornice as shown in Illustration 11.5.
  - (a) Front facades shall be varied to avoid long, flat building fronts. Any building containing more than three (3) units shall have the façade of each attached unit distinct from the other.
  - (b) All facades shall provide doors, porches, stoops, balconies, or windows in the following ratios:
    - (i) A minimum of forty (40%) percent of the front building façade. Garage doors, including garage door windows, shall not count towards compliance with this requirement.
    - (ii) A minimum of fifteen (15%) percent of the side building façade. Garage doors, including garage door windows, shall not count towards compliance with this requirement.
    - (iii) A minimum of thirty (30%) percent of the rear building façade. Rear-loaded garages are encouraged and shall count towards compliance with this requirement.
    - (iv) Windowless walls are prohibited along all facades. A minimum of one-quarter (1/4) of the front and side building façade ratio requirements shall be comprised of windows.

**Illustration 11. 5: Front façade area measurements**



- (c) All front facades shall provide a minimum of three (3) of the following design features for each unit:
  - (i) Projection(s) or recess(es) in the façade plane that differentiate the unit from the adjacent unit, with a minimum depth or projection of eighteen (18) inches;
  - (ii) Decorative patterns on the exterior finish such as wainscoting, moldings, and similar features;
  - (iii) A stoop, porch, balcony, or a recessed entrance with a minimum of eighteen (18) inches from the front façade;
  - (iv) A box or bay window with a minimum eighteen (18) inch projection from the façade plane;
  - (v) Window and door openings in masonry facades that express a lintel or arch above the opening. Lintels or arches used either structurally or as a decorative trim, shall extend beyond the width of the opening;
  - (vi) Eaves with either exposed rafters or a cornice projecting a minimum of twelve (12) inches from the façade plane.
- (3) **Building Elements.** Notwithstanding the requirements of Tables 11.2(a) and 11.2(b), a porch, stoop, or balcony shall follow the standards listed below. These standards are to ensure that certain building elements when added to a building façade are of sufficient size to be both usable and functional and be architecturally compatible with the frontage to which they are attached.
  - (a) The depth of a porch, stoop, or balcony shall be measured from the outer most edge of the walking surface to the lowest projecting face of the wall cladding.
  - (b) **Porch.** Porches shall comply with the following standards listed below. See Illustration 11.6.
    - (i) Shall be at least six (6) feet deep, not including the steps;
    - (ii) A front porch must be contiguous to the building facade, with at least thirty-three (33%) percent of the width of the exterior wall from which it projects;
    - (iii) Shall be roofed and may be screened but shall not be fully enclosed by walls;
    - (iv) Shall not encroach into the public right-of-way or required sidewalk;
    - (v) May extend up to eight (8) feet, including steps, into the required front setback, provided that such an extension is at least two (2) feet from the lot or lease line.

**Illustration 11. 6: Porch requirements**

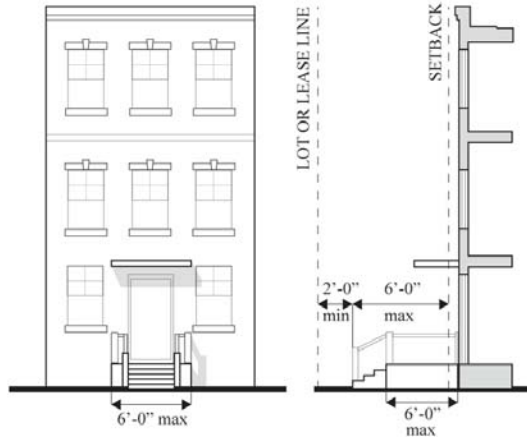


- (c) **Stoop.** Stoops shall comply with the following standards listed below. See Illustration 11.7.
  - (i) Shall be no more than six (6) feet deep and six (6) feet wide, not including steps;
  - (ii) May be covered but shall not be fully enclosed;
  - (iii) Shall not encroach into the public right-of-way or required sidewalk;
  - (iv) May extend up to six (6) feet, including steps, into the required front setback, provided that such an extension is at least two (2) feet from the lot or lease line.
- (d) **Balcony.** Balconies shall comply with the following standards listed below. See Illustration 11.8.
  - (i) Shall be at least four (4) feet deep;
  - (ii) Shall have a clear height above the sidewalk of a minimum of ten (10) feet;
  - (iii) May be covered and screened, but not fully enclosed;

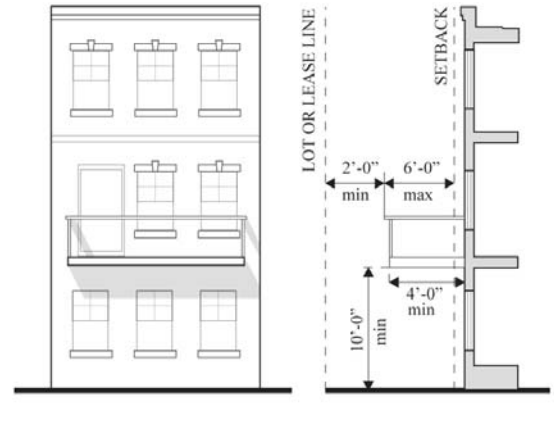


- (iv) May extend up to six (6) feet into the required setback, provided that such extension is at least two (2) feet from the lot or lease line, but shall not encroach into the public right-of-way.

**Illustration 11. 7: Stoop requirements**



**Illustration 11. 8: Balcony requirements**

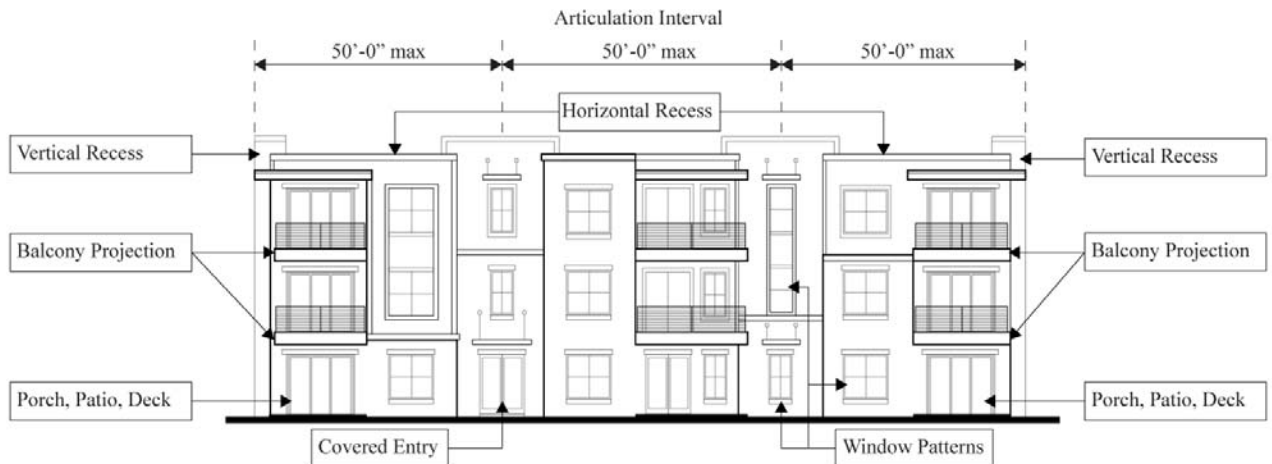


- (4) **Garage Doors.** Garage doors shall be recessed a minimum of twelve (12) inches from the garage door frame.
- (5) **Roofs.** The roofs of each unit shall comply with the following standards:
- Roofs shall be symmetrical gables, flat with parapet along the front façade, or shed style. Alternative roof forms or pitches may be used over porches, covered stoops, covered balconies, entryways, or similar features;
  - Shed style roofs shall have a minimum roof pitch of 4:12;
  - Symmetrical gable style roofs shall have a minimum roof pitch of 3:12;
  - When a parapet is part of the roof design, the projection of the front façade must be varied and must use decorative elements such as crown molding, dentils, brick soldier courses, or similar ornamental features;
  - Additional roof forms, such as dormers, shall be permitted to enhance the aesthetic of the roofline;
  - Overhangs, if provided, shall be no less than twelve (12) inches;
  - Sloped roofs on primary buildings shall be clad in wood shingles, standing seam metal, clay or concrete tile, stone coated metal tile, painted metal tile, recycled rubber tile, slate, asphalt shingles or similar material or combination of materials. This regulation does not prohibit the application of solar panels, which shall not be considered an architectural material for purposes of building form regulations;
  - In cases where an alternative roofing material is proposed but is not listed, the director shall make an administrative determination as to whether or not the material shall be permitted under present design standards based on the purpose and intent of this Article.
- (6) **Site Standards.**
- Sidewalks and pedestrian pathways shall provide a continuous network that connects each unit with adjacent public streets and all on-site amenities designed for use by residents of the development.
  - The primary entrance and front façade of individual units within a single family attached development may be oriented toward streets, private drives or enhanced open space, and shall not be oriented toward off-street parking lots, garages, alleyways, or carports.
- (B) **Multi-Family Residential**
- Wall Finishes.**
    - A minimum of sixty (60%) percent of the total façade of all exterior walls, excluding windows and doors, must consist of primary wall cladding materials as listed below.
      - Brick or masonry brick veneer;
      - Manufactured or natural stone or stone veneer;
      - True three (3) coat cement stucco;
      - Cementitious siding including lap siding and board and batten.

- (b) A maximum of forty (40%) percent of the total façade of all exterior walls, excluding windows and doors, may consist of secondary wall cladding materials as listed below.
    - (i) Exterior Insulation and Finish System (EIFS). If within three (3) feet of grade or within six (6) feet of grade adjoining a public right-of-way or a parking area, shall be compliant with impact resistance standards set by ASTM.
    - (ii) Architectural grade metal wall panels, which shall:
      - a) Be matte finish in neutral or earth tone and;
      - b) Include two (2) or more of the following elements:
        - i. Visible window and door trim painted or finished in a complementary color.
        - ii. Color and edge trim that cover exposed edges of the sheet metal panels.
        - iii. A base constructed from the materials listed in Section 11-10.4(B)(1)(a).
  - (c) The use of the following materials is prohibited for the exterior of buildings:
    - (i) Architectural concrete masonry units (CMUs);
    - (ii) Plywood and oriented strand board (OSB);
    - (iii) Vinyl siding and other polymeric siding;
    - (iv) Mirrored glass;
    - (v) Corrugated fiberglass;
    - (vi) Any spray-on materials, such as shot-crete.
  - (d) On the arrangement of façade materials
    - (i) Where two (2) or more materials are proposed to be combined on a façade, the heavier material shall be located below the lighter material as shown in Illustration 11.3 in section 11-10.4(A)(1). Material changes on a façade shall occur along a continuous horizontal line or where two (2) building forms meet.
    - (ii) Façade materials are permitted to change only when it reaches an interior corner or another architectural feature. Primary front façade materials shall wrap around at outside building corners for at least four (4) feet at a continuous height. See Illustration 11.4 in section 11-10.4(A)(1).
  - (e) Accessory Structure Materials
    - (i) The exterior of accessory buildings shall be constructed of similar materials, colors, and detailing to match those used on the principal structure(s).
  - (f) In cases where a material is proposed but is not listed, the director shall make an administrative determination as to whether or not the material shall be permitted under present design standards based on the purpose and intent of this Article.
- (2) **Site Materials.** Except as otherwise stated, use of the following materials is prohibited on the property:
- (a) Crushed color rock or tumbled glass;
  - (b) Chain link fencing, except where necessary around stormwater ponds or for temporary purposes such as a construction site. Chain link fencing around stormwater ponds must be fully screened by vegetation and not visible from the public right-of-way.
- (3) **Variation in Facades.** For the purpose of this subsection, a building façade shall be considered the entire wall surface on a building side from the finished grade level to the bottom of an overhanging eave or to the top of a cornice as shown in Illustration 11.5 in section 11-10.4(A)(2). The facades of multi-family buildings shall incorporate several design techniques to create an appropriate building scale and to provide distinction between similar structures.
- (a) All facades shall provide doors, porches, stoops, balconies, or windows in the following ratios:
    - (i) A minimum of forty (40%) percent of the front building façade.
    - (ii) A minimum of twenty (20%) percent of the side building façade.
    - (iii) A minimum of thirty (30%) percent of the rear building façade.
    - (iv) Windowless walls are prohibited along all facades. A minimum of one-quarter (1/4) of the front, side, and rear building façade ratio requirements shall be comprised of windows.
  - (b) Faux window treatments shall be permitted for side and rear facades to comply with window ratio requirements.
  - (c) For buildings over three (3) stories, over five thousand (5,000) square feet in gross building footprint or with façades longer than one hundred (100) feet.
    - (i) The “articulation interval” at which the repetitive element repeats should not be greater than fifty (50) feet in length measured horizontally as shown in Illustration 11.9.

- (ii) The building shall provide a minimum of three (3) of the following modulations or articulation design features listed below as shown in Illustration 11.9:
- a) Horizontal modulation. The stepping back or extending forward of building stories or horizontal building elements, the depth (extension out or set back from the building facade) of the modulation must be at least two (2) feet when tied to a change in the roofline and at least five (5) feet in other situations;
  - b) Vertical modulation. The extension or stepping back of vertical elements of a building, the minimum depth of modulation is eighteen (18) inches and minimum width for each modulation is fifteen (15) feet;
  - c) Porch, stoop, patio, deck or covered entry at each articulation interval;
  - d) Distinctive window patterns repeated at intervals less than the articulation interval;
  - e) Lighting fixtures, trellises, or other landscape features within each articulation interval;
  - f) Incorporation of projections such as windows, porch additions, stair enclosures, chimneys, balconies, recesses at windows, entryways, doors or other openings, and minor projecting masses;
  - g) Change in materials with a change in building plane;
  - h) Use of materials and colors to emphasize both major and minor changes in building scale to introduce sense of detail and create distinctions between structures.

**Illustration 11. 9: Modulation Example**



- (4) **Blank Walls.** For the purpose of this section, a “blank wall” is any portion of wall that either has a surface area of at least two hundred (200) square feet of vertical surface without a window, door or building modulation or other architectural feature; or is over four (4) feet in height from ground level and longer than fifteen (15) feet as measured horizontally without having a window, door, building modulation or other architectural feature as shown in Illustration 11.10. All blank walls visible from an adjacent or nearby lot, or a public street or private street, shall be treated in one (1) or more of the following ways:
- (a) A vertical trellis in front of the wall with climbing vines or other plant material. The trellis must be used in conjunction with other treatments described below.
  - (b) A landscaped planting bed or raised planter bed in front of the wall.
    - (i) Plant material shall be selected to screen at least fifty (50%) percent of the blank wall’s surface within four (4) years.

- (c) A combination of building materials as listed in 11-10.4(B)(1)(a) and 11-10.4(B)(1)(b) to provide visual interest and craftsmanship to building façades consistent with the purpose and intent of this Article.

**Illustration 11. 10: Example Blank Wall**



- (5) **Exterior Lighting.**
- (a) Full cutoff fixtures shall be required with the exception of special architectural lighting that adheres to the following:
- (i) Uplighting shall be shielded by a roof overhang or a similar structural shield.
  - (ii) Luminaires shall be aimed to shield the lamp and its reflective surfaces from off-site view and to prevent light output beyond the building.
  - (iii) A licensed architect or engineer shall stamp a prepared lighting plan that ensures that all exterior lighting adheres to county design standards.
- (6) **Roofs.** All roofs shall comply with the following standards:
- (a) Roofs shall be symmetrical gables, flat with parapet along the front facing façade, hip-style, or shed style. Alternative roof forms or pitches may be used over porches, covered stoops, entryways, or similar features;
  - (b) Shed style roofs shall have a minimum roof pitch of 4:12;
  - (c) Symmetrical gable and hip-style roofs shall have a minimum roof pitch of 3:12;
  - (d) Additional roof forms, such as dormers, shall be permitted to enhance the aesthetic of the roofline.
  - (e) All building entrances shall be sheltered by roof forms, and/or additional roof features;
  - (f) Overhangs, if provided, shall be no less than twelve (12) inches;
  - (g) For flat roofs or facades with horizontal fascia or parapet, the roofline shall vary at least every sixty (60) feet. There shall be a minimum vertical dimension of roofline modulation of two (2) feet;
  - (h) Other roof forms such as arched or saw-toothed may satisfy this design standard if the individual segments of the roof with no change in slope or discontinuity are less than sixty (60) feet in width;
  - (i) Sloped roofs on primary buildings shall be clad in wood shingles, standing seam metal, clay or concrete tile, stone coated metal tile, painted metal tile, recycled rubber tile, slate, asphalt shingles or similar material or combination of materials. This regulation does not prohibit the application of solar panels, which shall not be considered an architectural material for purposes of building form regulations;

- (j) In cases where an alternative roofing material is proposed but is not listed, the director shall make an administrative determination as to whether or not the material shall be permitted under present design standards based on the purpose and intent of this Article.
- (7) **Site Standards.**
  - (a) Sidewalks and pedestrian pathways shall provide a continuous network that connects each building entrance with adjacent public streets and all on-site amenities designed for use by residents of the development.